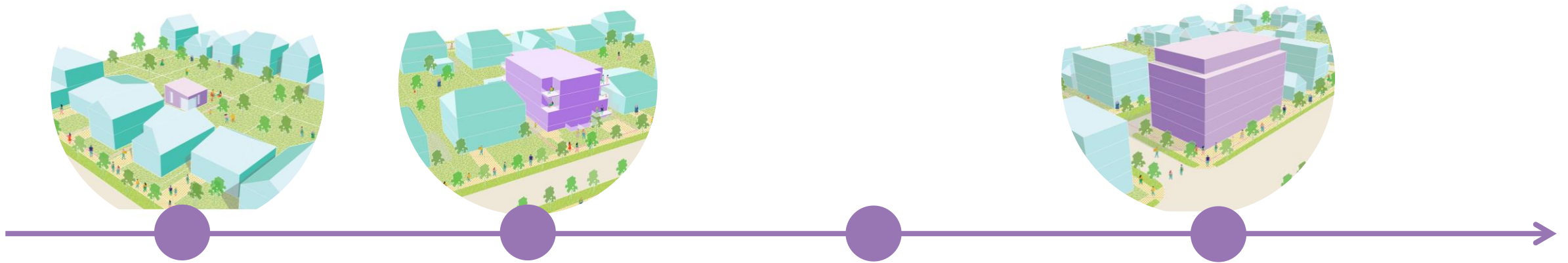
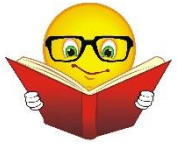


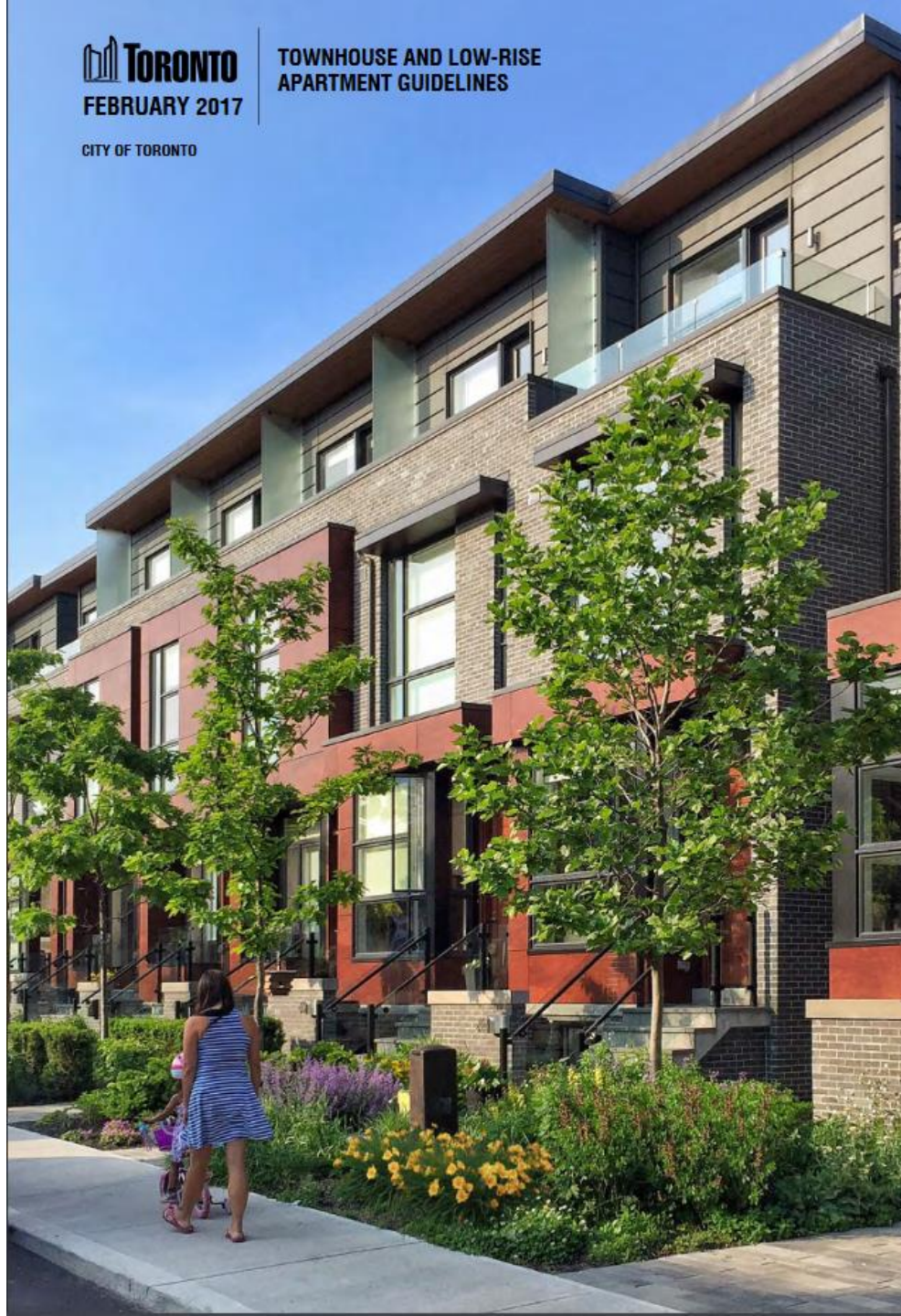
Urban Design





Reference

Low-Rise Building Design Guidelines



TORONTO
FEBRUARY 2017
CITY OF TORONTO

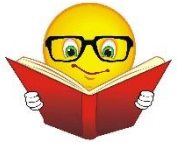
TOWNHOUSE AND LOW-RISE
APARTMENT GUIDELINES

TOWNHOUSE AND LOW-RISE APARTMENT GUIDELINES

DRAFT
URBAN DESIGN
GUIDELINES

2017

- Soft Landscaping
- Inner-neighbourhood pedestrian connections
- Retail opportunities
- Tree protecting and additional tree planting
- Street furniture



Reference

Growing UP Design Guidelines

Amenity Space

(20 units or more)



Attachment 4

PLANNING FOR CHILDREN IN
NEW VERTICAL COMMUNITIES

Growing Up

DRAFT
URBAN DESIGN
GUIDELINES

2017

TORONTO

Major Streets Urban Design

Fig 3. Potential Massing Model (Small-Scale Apartment Building) with Lots Fronting and Flanking on Major Streets

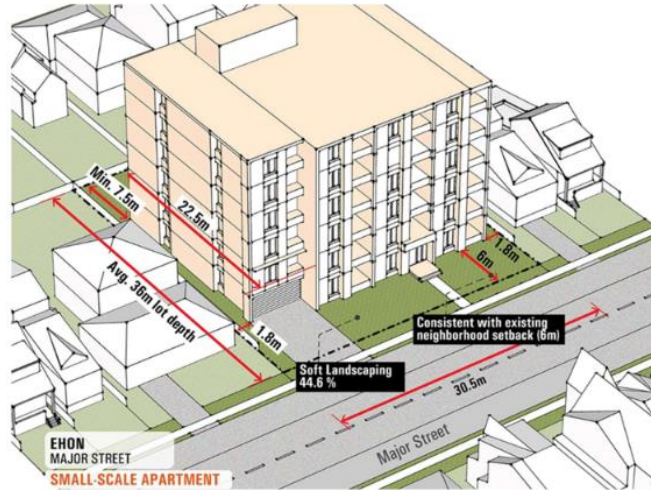


Fig 4. Potential Massing Model with a retail at the corner of a Major Street

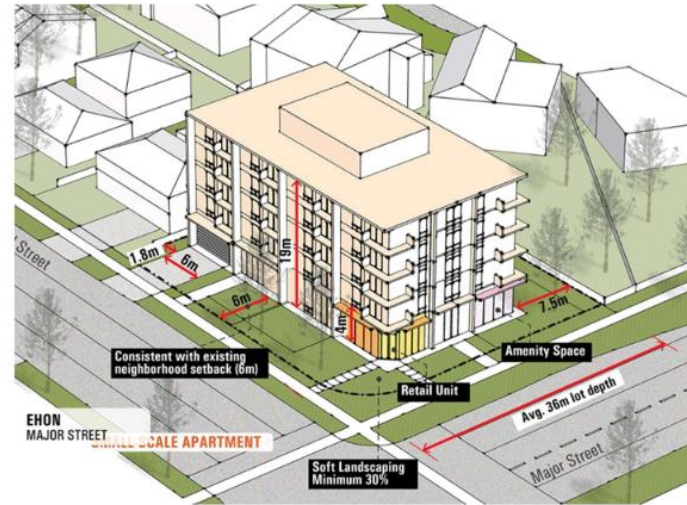
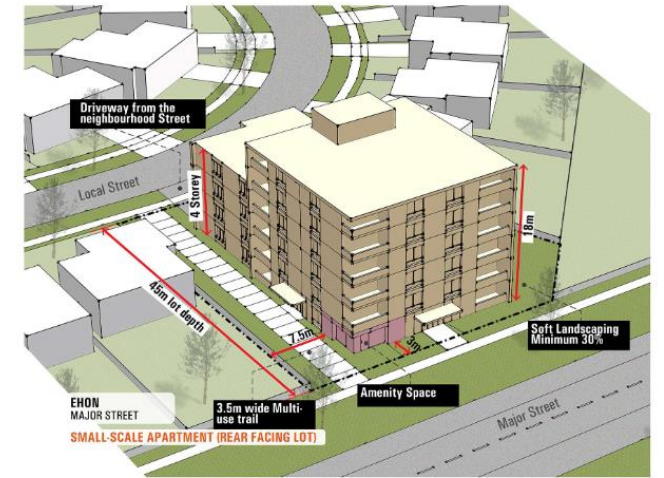


Fig 6. Potential Massing Models with Small-Scale Apartment on Rear Facing Lots on Major Streets



1. Building dimensions: 25 m (depth) x 27 m (length)

Major Streets Urban Design

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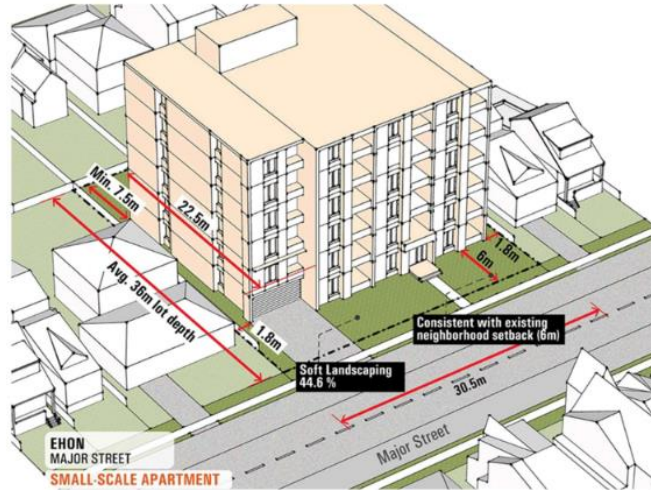


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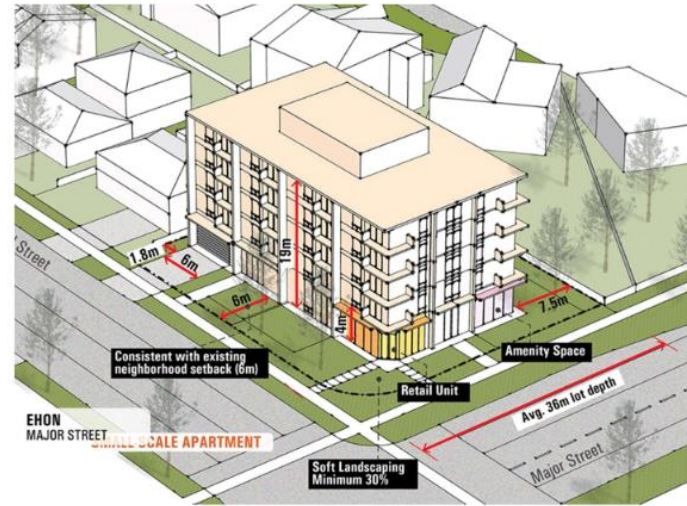


Fig 6. Potential Massing Models with Small-Scale Apartment on Rear Facing Lots on Major Streets



1. Building dimensions: 25 m (depth) x 27 m (length)
2. 7.5 m rear setback (rear street condition)

Major Streets Urban Design

Fig 3. Potential Massing Model (Small-Scale Apartment Building) with Lots Fronting and Flanking on Major Streets

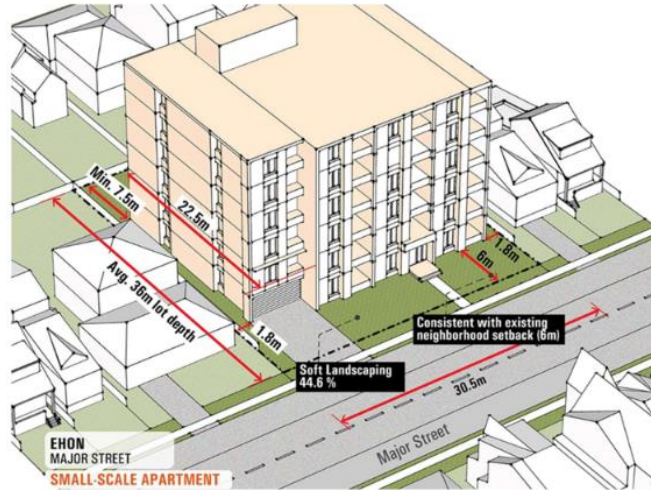


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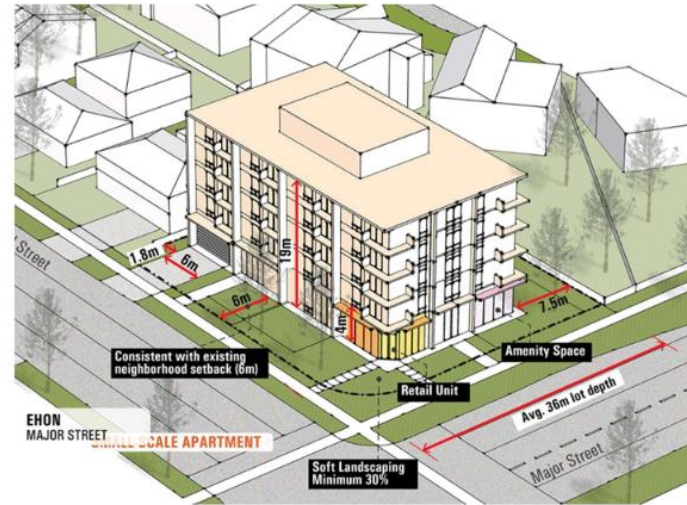
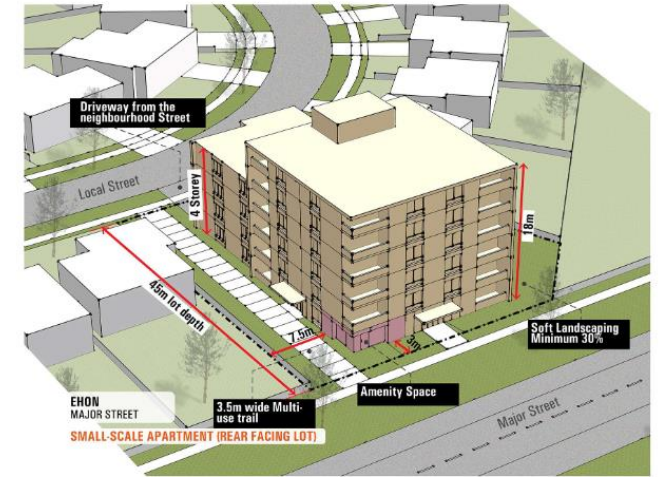


Fig 6. Potential Massing Models with Small-Scale Apartment on Rear Facing Lots on Major Streets



1. Building dimensions: 25 m (depth) x 27 m (length)
2. 7.5 m rear setback (rear street condition)
3. 7.5 / 5.5 m / 3 m / 1.8 m side setback

Major Streets Urban Design

Fig 3. Potential Massing Model (Small-Scale Apartment Building) with Lots Fronting and Flanking on Major Streets

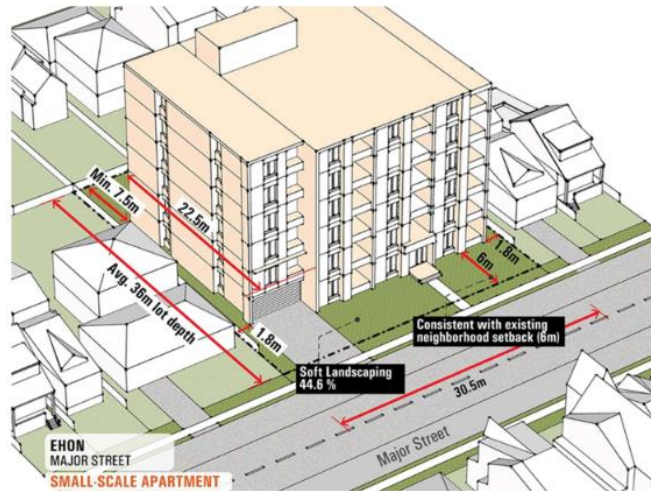


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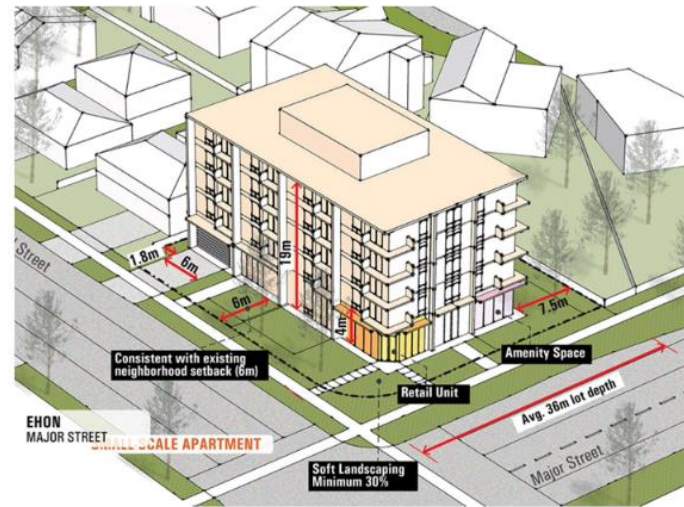
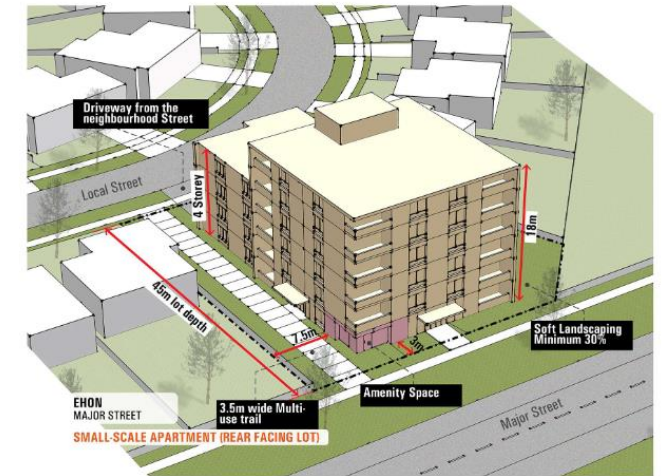


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1. Building dimensions: 25 m (depth) x 27 m (length)
2. 7.5 m rear setback (rear street condition)
3. 5.5 m / 3 m / 1.8 m side setback
4. Front Setback: 3 m or average front on street (greater)

Major Streets Urban Design

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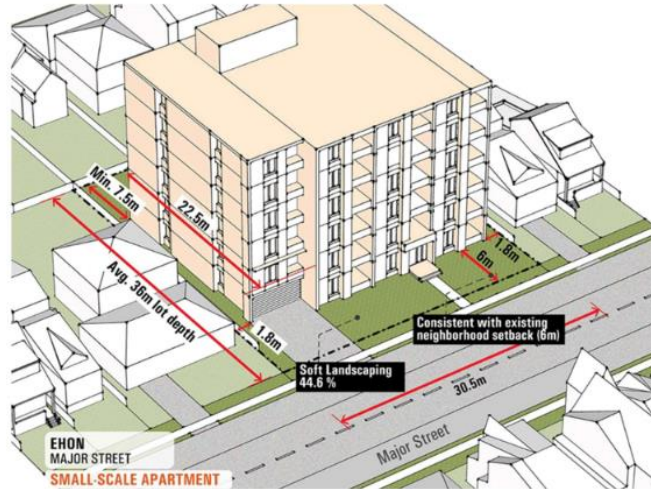


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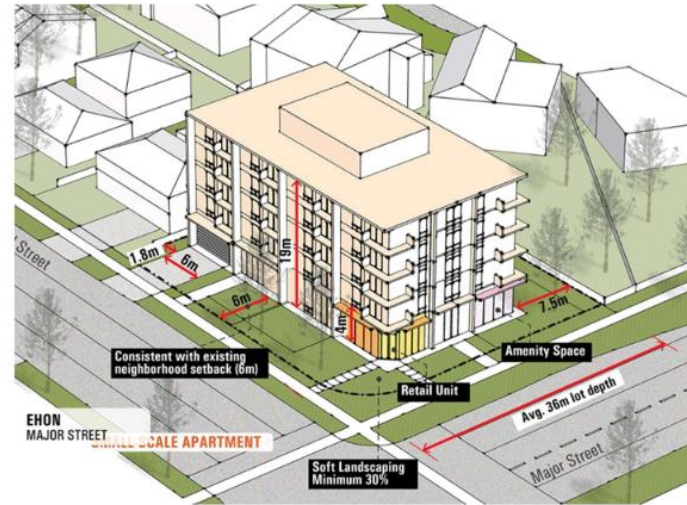
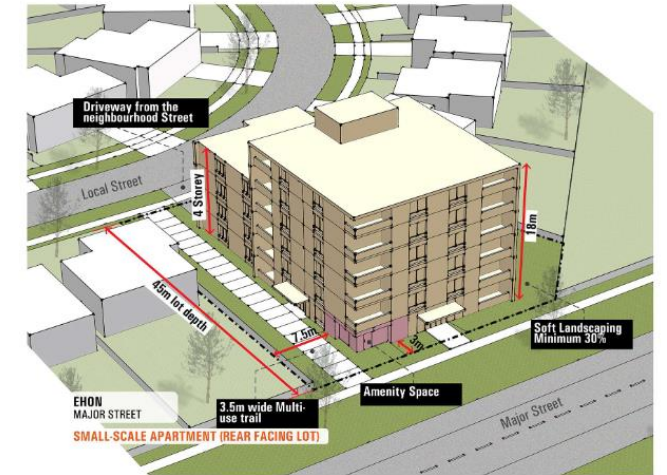


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5. No FSI limit

Major Streets Urban Design

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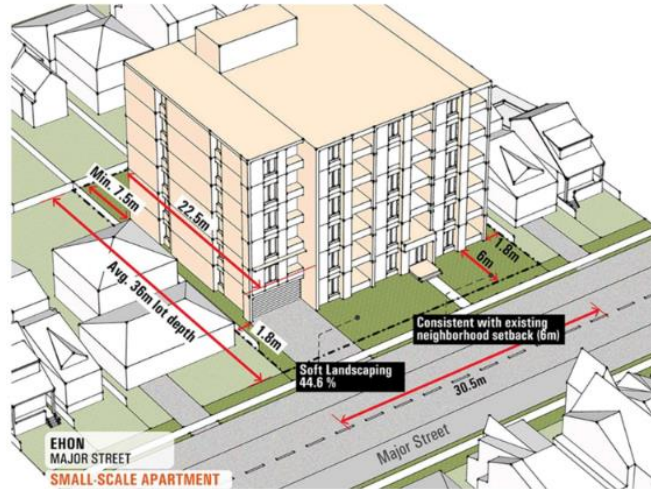


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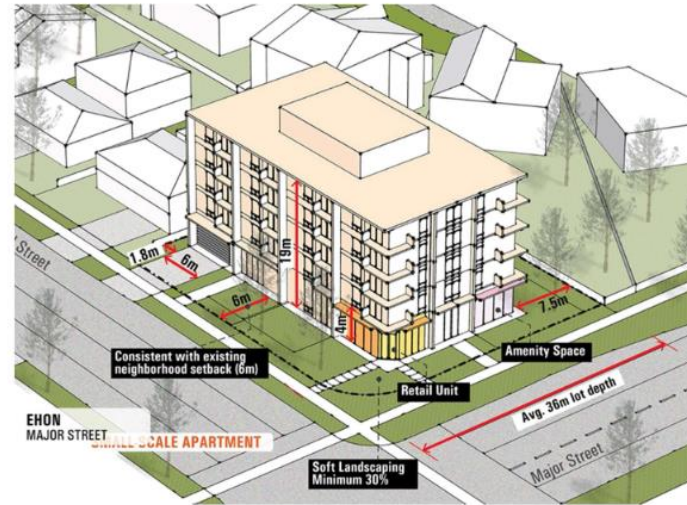
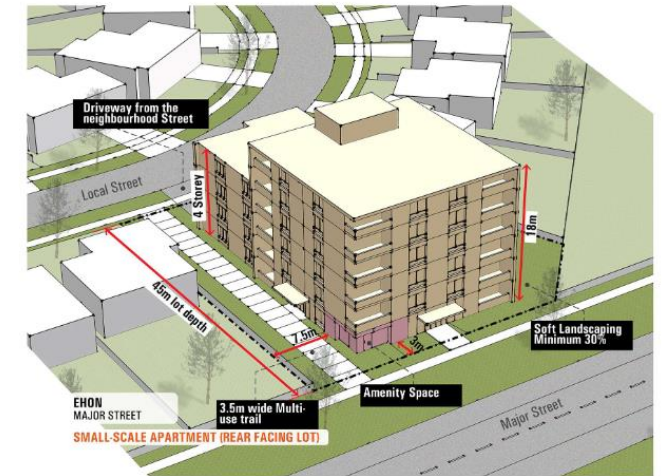


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4. Front Setback: 3 m or average front on street (greater)
5. No FSI limit

- No Parking minimums for residential

Lot Typologies on Major Streets

Front Lot Orientation



Rear/Through Lot Orientation

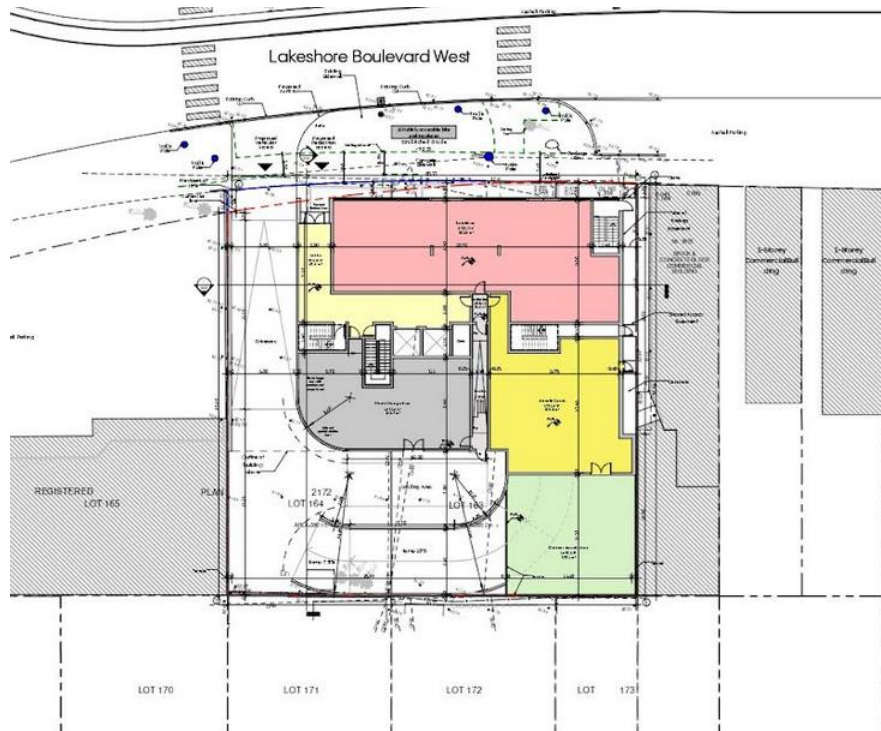


Side (Corner) Lot Orientation



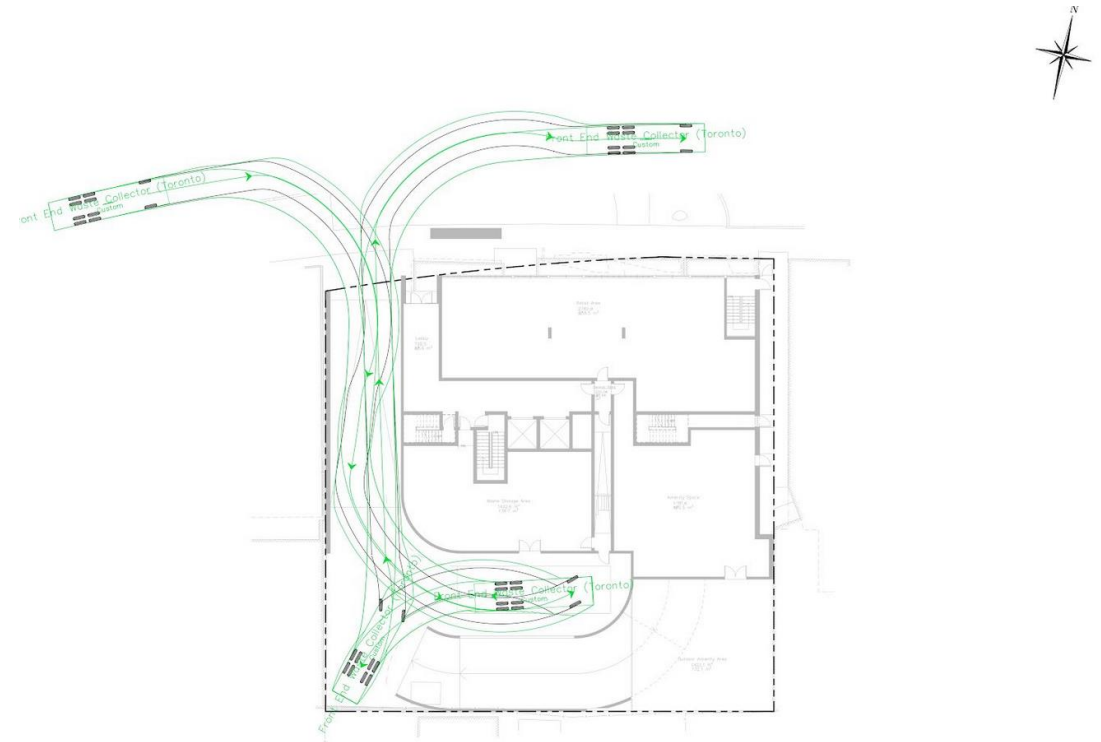
MORE VIDEOS

30 Units Cap / Type G Loading



Ground Floor
(Architectural Set)

- Colour Legend
- Amenity Space
 - Lobby
 - Outdoor Amenity Area
 - Retail Area
 - Service Area
 - Waste Storage Area
- Sidewalk
--- Review Lot Line
--- New Lot Line



Transportation Diagram

Waste Management



CITY OF TORONTO REQUIREMENTS FOR GARBAGE, RECYCLING AND ORGANICS COLLECTION SERVICES FOR NEW DEVELOPMENTS AND REDEVELOPMENTS

LAST REVISED: MAY 2023

