

**SMART
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THE DEVELOPMENT APPROVALS PROCESS IN TORONTO

FEB 15, 2023 | 10 A.M.

Led by Naama Blonder
Architect and Urban Planner, Smart Density

Pre-Application Consultation (PAC)

```
graph TD; PAC([Pre-Application Consultation (PAC)]) --> ZBA([ZBA]); PAC --> PPR([Preliminary Project Review (PPR) or Zoning Certificate]); PAC --> COA([Committee of Adjustments (CoA)]); ZBA --> OPA([OPA]); PPR --> COA; COA --> SPA([Site Plan Approval]); COA --> BP([Building Permit]); OPA --> SPA; SPA --> BP;
```

The flowchart illustrates the development approvals process in Toronto. It begins with a 'Pre-Application Consultation (PAC)' step, which branches into three paths: 'ZBA' (Zoning By-law Amendment), 'PPR' (Preliminary Project Review or Zoning Certificate), and 'CoA' (Committee of Adjustments). The 'ZBA' path leads to 'OPA' (Official Plan Amendment), which then leads to 'SPA' (Site Plan Approval). The 'PPR' path leads directly to 'CoA'. The 'CoA' path leads to both 'SPA' and 'BP' (Building Permit). Finally, 'SPA' leads to 'BP'.

Preliminary Project Review (PPR)
or Zoning Certificate

Committee of Adjustments (CoA)

ZBA

OPA

Site Plan Approval

Building Permit

Naama Blonder
Architect, Urban Planner
OAA, RPP, MCIP

[Smartdensity.com](https://smartdensity.com)

linkedin.com/in/naamablonder/



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IN TORONTO

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graph TD; A[Pre-Application Consultation (PAC)] --> B[ ];
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Pre-Application Consultation (PAC)

THE DEVELOPMENT APPROVALS PROCESS IN TORONTO

Pre-Application Consultation (PAC)

- PAC Package Sample
- Cover Letter
- Admin Form
- Schematic Site Plan
- 3D Views
- Design Inspiration

April 26, 2021

Community Planning
City of Toronto

Thank you for the opportunity to submit this package and for reviewing the development concept for 1595-1617 Queen Street East, Toronto.

The subject site is located at the southwest corner of the intersection of Queen Street East and Coxwell Avenue, a short walk north from Ashbridges Bay. It is comprised of 3 properties containing 1- and 2-storey commercial and mixed-use buildings and their parking lots.

The site is fronting Queen Street East which is designated an Avenue in the Urban Structure Map of the Official Plan, and it is located within Site and Area Specific Policy 501.

The adjacent TCHC site at 1555-1575 Queen Street East has been approved for redevelopment with a 17-storey building on Queen Street East, west of the subject site, and a 10-storey building south of the subject site.

This context, as well as the excellent access to public transit and other existing community infrastructure, such as the adjacent Woodbine Park and Ashbridges Bay Park, strongly support significant intensification on the site.

The proposed building was conceived to contribute and fit well within its existing and planned context. Specifically:

- The building will provide a well-designed street frontage on Queen Street East, with a ground floor height that is consistent with the existing retail, as well as sidewalk widening and streetscape improvements.
- The building street wall along Queen Street East is 4-storey in height, and it is consistent with SASP 501. Above the fourth level, a series of setbacks are used to limit the perceived height and bulk of the building.
- While the site is too small to provide usable on-site parkland dedication, a cash-in-lieu contribution will facilitate the improvement of parks in the area.
- The building is nine storeys in height. This height, which is greater than the direction of SASP 501, is appropriate since the building is significantly lower than the adjacent and recently approved development at 1555-1575 Queen Street East, it employs similar setbacks from the street and the building is similarly mostly contained within a 45-degree angular plane above 14 m from street grade as required in the SASP.
- The design achieves a large separation distance from the planned TCHC building to the south, ensuring good conditions of privacy and light penetration.
- The building has negligible incremental shadow impact on the new planned park to the west.

I am looking forward to discussing the project at our meeting.

Naama Blonder
Architect and Urban Planner
OAA, RPP, MCP



Plan View



View to North-West

Proposal

Pre-Application Meeting Request

Provide a brief description of the proposal

The site is fronting Queen Street East which is designated an Avenue in the Urban Structure Map of the Official Plan, and it is located within Site and Area Specific Policy 501. The adjacent TCHC site at 1555-1575 Queen Street East has been approved for redevelopment with a 17-storey building on Queen Street East, west of the subject site, and a 10-storey building south of the subject site.

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The proposed building was conceived to contribute and fit well within its existing and planned context. Specifically:

- The building will provide a well-designed street frontage on Queen Street East, with a ground floor height that is consistent with the existing retail, as well as sidewalk widening and streetscape improvements.
- The building street wall along Queen Street East is 4-storey in height, and it is consistent with SASP 501. Above the fourth level, a series of setbacks are used to limit the perceived height and bulk of the building.
- While the site is too small to provide usable on-site parkland dedication, a cash-in-lieu contribution will facilitate the improvement of parks in the area.
- The building is nine storeys in height. This height, which is greater than the direction of SASP 501, is appropriate since the building is significantly lower than the adjacent and recently approved development at 1555-1575 Queen Street East, it employs similar setbacks from the street and the building is similarly mostly contained within a 45-degree angular plane above 14 m from street grade as required in the SASP.
- The design achieves a large separation distance from the planned TCHC building to the south, ensuring good conditions of privacy and light penetration.

Project Details

	Existing_0	Retained_0	Proposed_1	Total_1
Number of buildings	Existing_0	Retained_0	Proposed_1	Total_1
Ground Floor Area	Existing_1,000_m²	Retained_0_m²	Proposed_1,379_m²	Total_1,379_m²
Residential GFA	Existing_820_m²	Retained_0_m²	Proposed_10,875_m²	Total_10,875_m²
Non-residential GFA	Existing_1,000_m²	Retained_0_m²	Proposed_759_m²	Total_759_m²
Landscape Open Space	Existing_0_m²	Retained_0_m²	Proposed_80_m²	Total_80_m²
Paved Surface Area	Existing_560_m²	Retained_0_m²	Proposed_200_m²	Total_200_m²
Height of building(s)	Existing_2_Storeys	Retained_0_Storeys	Proposed_9_Storeys	Total_9_Storeys
	6_m	0_m	28.5m	28.5m

Date (yyyy-mm-dd) 2021-04-26

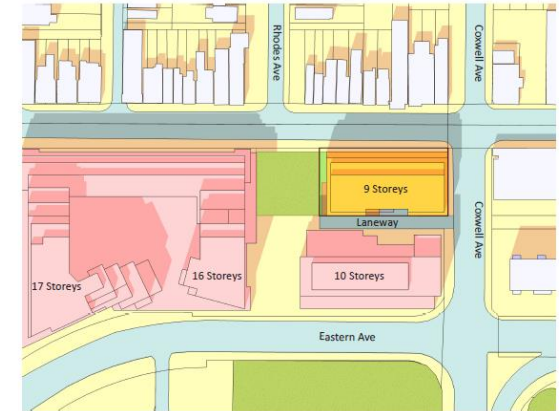
Signature

Notice of Collection

The City Planning collects personal information on this form and on the supporting documentation under the City of Toronto Act, 2009, S.O. 2009, Chapter 11, Schedule A, s.139(1), and the City of Toronto By-law No. 1040-2009. This information is used for the purpose of evaluating your request and the requirements for a complete planning application. Questions about this collection can be directed to Project Coordinator, 55 John St. 22nd Floor, Toronto ON M5V 3C9 or by telephone at: 416-364-2451.

11-0000 2018-02

SITE PLAN



Plan View

Property Line Residential Approved

Paris, France



Bilbao, Spain



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Pre-Application Consultation (PAC)

- 
- PAC Package Sample

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Pre-Application Consultation (PAC)

- Checklist Example

List of Required Applications, Plans, Information/Studies

Submission Requirements

<input checked="" type="checkbox"/>	Completed Development Approval Application Form
<input checked="" type="checkbox"/>	Project Data Sheet
<input checked="" type="checkbox"/>	Full Fees*

Planning applications required:

<input checked="" type="checkbox"/>	Official Plan Amendment (OPA)	<input type="checkbox"/>	Part Lot Control Exemption (PLCE)
<input checked="" type="checkbox"/>	Zoning By-law Amendment (ZBA)	<input type="checkbox"/>	Draft Plan of Subdivision (SUB)
<input type="checkbox"/>	Site Plan Control (SPA)	<input type="checkbox"/>	Draft Plan of Condominium (CDM)
<input type="checkbox"/>	Common Elements	<input type="checkbox"/>	Standard & Phased
<input type="checkbox"/>	Other:		

Other Planning applications required:

<input checked="" type="checkbox"/>	Rental Housing Demolition & Conversion Application (RH)	<input type="checkbox"/>	Minor Variance
<input type="checkbox"/>	Consent		

Plans required with application submission
[2 paper copies unless noted, and one digital copy (i.e. PDF)]:

OFFICIAL PLAN AMENDMENT (OPA)

<input checked="" type="checkbox"/>	Boundary Plan of Survey	<input checked="" type="checkbox"/>	Concept Site and Landscape Plan
<input checked="" type="checkbox"/>	Context Plan	<input type="checkbox"/>	Electromagnetic Field (EMF) Management Plan
<input checked="" type="checkbox"/>	Site Plan	<input checked="" type="checkbox"/>	Topographical Survey
<input type="checkbox"/>	Other:		

ZONING BY-LAW AMENDMENT (ZBA)

<input checked="" type="checkbox"/>	Boundary Plan of Survey	<input checked="" type="checkbox"/>	Concept Site and Landscape Plan
<input checked="" type="checkbox"/>	Context Plan	<input type="checkbox"/>	Electromagnetic Field (EMF) Management Plan
<input checked="" type="checkbox"/>	Floor Plans(s)	<input checked="" type="checkbox"/>	Public Utilities Plan
<input checked="" type="checkbox"/>	Site and Building Elevations		Site and Building Sections
<input checked="" type="checkbox"/>	Site Plan	<input checked="" type="checkbox"/>	Soil Volume Plan
<input checked="" type="checkbox"/>	Topographical Survey	<input checked="" type="checkbox"/>	Tree Preservation Plan
<input checked="" type="checkbox"/>	Underground Garage Plan(s)	<input type="checkbox"/>	
<input type="checkbox"/>	Other:		

Information/Studies required with application submission
[0 paper copies unless noted and 1 digital copy (i.e. PDF)]

City Planning

<input type="checkbox"/>	Accessibility Design Standards Checklist (SUB,CDM,SPA)	<input type="checkbox"/>	Archaeological Assessment (OPA,ZBA,SUB,SPA)
<input type="checkbox"/>	Architectural Control Guidelines (ZBA,SUB,SPA)	<input checked="" type="checkbox"/>	Avenue Segment Review Study (OPA,ZBA)
<input checked="" type="checkbox"/>	Block Context Plan (OPA, ZBA [site specific], SUB, SPA)	<input checked="" type="checkbox"/>	Community Services and Facilities Study (OPA,ZBA,SUB)
<input type="checkbox"/>	Compatibility/Mitigation Study (OPA, ZBA, SPA)	<input checked="" type="checkbox"/>	Computer Generated Building Mass Model (OPA,ZBA,SPA)
<input checked="" type="checkbox"/>	Draft Official Plan Amendment (text and schedule)(OPA)	<input checked="" type="checkbox"/>	Draft Zoning By-law Amendment (text and schedule)(ZBA)
<input type="checkbox"/>	Energy Strategy (OPA,ZBA,SUB)	<input type="checkbox"/>	Heritage Impact Assessment (Conservation Strategy) (ZBA,SUB,SPA)
<input type="checkbox"/>	Housing Issues Report (OPA,ZBA,CDM)	<input type="checkbox"/>	Natural Heritage Impact Study (OPA,ZBA,SUB,SPA)
<input checked="" type="checkbox"/>	Noise Impact Study (ZBA,SUB,SPA)	<input checked="" type="checkbox"/>	Planning Rationale (OPA,ZBA,SUB,CDM)
<input checked="" type="checkbox"/>	Pedestrian Level Wind Study (ZBA,SPA)	<input checked="" type="checkbox"/>	Public Consultation Strategy Report (OPA,ZBL,SUB,CDM [Vacant Land])
<input checked="" type="checkbox"/>	Simplified Report Graphics	<input checked="" type="checkbox"/>	Sun/Shadow Study (ZBA,SPA)
<input checked="" type="checkbox"/>	Vibration Study (ZBA,SUB,SPA)	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	Toronto Green Standard (ZBA,SUB,SPA) <input checked="" type="checkbox"/> Tier 1 (Mandatory)** <input type="checkbox"/> Tier 2, 3 (Voluntary)*** ** TGS Version 4 will be applied for all applications received on or after May 1st, 2022. See Energy Efficiency Modelling Guidelines and Report Requirements (SPA) . *** To enroll in Tier 2 or 3 contact Environmental Planning sustainablecity@toronto.ca		

Engineering & Technical Services

<input type="checkbox"/>	Contaminated Site Assessment (OPA,ZBA,SUB,SPA)	<input type="checkbox"/>	Environmental Impact Study (OPA,ZBA,SUB,SPA)
<input checked="" type="checkbox"/>	Geotechnical Study/Hydrological Review (ZBA,SUB,SPA) TOR*	<input checked="" type="checkbox"/>	Loading Study (ZBA,SPA)
<input checked="" type="checkbox"/>	Parking Study (ZBA,CDM,SPA)	<input checked="" type="checkbox"/>	Servicing Report (ZBA,SUB,CDM,SPA)
<input checked="" type="checkbox"/>	Stormwater Management Report (ZBA,SUB,CDM,SPA)	<input checked="" type="checkbox"/>	Transportation Impact Study (OPA,ZBA,SUB,SPA)
<input checked="" type="checkbox"/>	Traffic Operations Assessment (ZBA,SUB,SPA)		

Urban Forestry Services

<input checked="" type="checkbox"/>	Arborist/Tree Preservation Report and/or Declaration (ZBA,SUB,CDM,SPA)		
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Guidelines and Advisory Comments

Guidelines, By-Laws, and Standards

<input checked="" type="checkbox"/>	City of Toronto Urban Design Guidelines	<input checked="" type="checkbox"/>	Development Infrastructure Policy and Standards (DIPS)
<input type="checkbox"/>	District/Area based Urban Design Guidelines	<input checked="" type="checkbox"/>	Energy Modelling Guidelines Version 4
<input type="checkbox"/>	Green Roof By-law (SPA)	<input checked="" type="checkbox"/>	Toronto Green Standard (ZBA,SUB,SPA)

https://www.toronto.ca/city-government/planning-development/application-forms-fees/building-toronto-together-a-development-guide/application-support-material-terms-of-reference/



Q

A+

A-

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City Government

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City of Toronto / City Government / Planning & Development / Development Guide, Forms & Fees / Development Guide / Application Support Material: Terms of Reference

Application Support Material: Terms of Reference

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For upcoming changes to the application support material see [Terms of Reference: Upcoming Changes](#).

To ensure the interests of the City are met and to adequately assess the technical aspects of your proposal, the City requires submission of a number of information items with your application. This page provides definitions and detailed descriptions of the plans, reports and studies the City may require in order to assess development proposals and the completeness of development applications.

Please note that not all of these requirements will apply to your proposal and that the level of detail required for

Related Information

- Official Plan and Zoning By-law Amendment
- Draft Plan of Subdivision
- Draft Plan of Condominium
- Site Plan Control

☒ Land Survey

☒ Hydro-G

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**THE
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IN TORONTO**



Pre-Application Consultation (PAC)

Questions?

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Pre-Application Consultation (PAC)

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graph TD; PAC([Pre-Application Consultation (PAC)]) --> Junction(( )); Junction --> ZBA([ZBA]); Junction --> PPR([Preliminary Project Review (PPR) or Zoning Certificate]);
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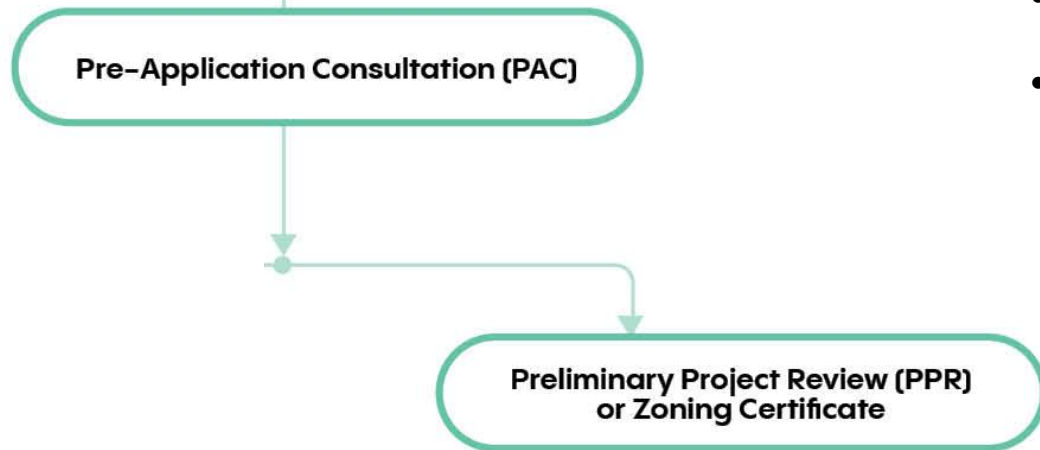
Preliminary Project Review (PPR)
or Zoning Certificate

ZBA

How do I know?

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- PPR Checklist
- PPR Set
- Report: Minor Vibrances
- Post-Report

PPR Checklist

Design Phase

Insert Survey	
Setbacks	
Right of Way	
Perestrian Access	
Vehicules Access	
Parking	
Interior layout	
Circulations (Vertical/Horizontal)	
Rooms and Areas	
Washrooms and Universal WR	
Doors and Windows	
Permitted Openings (OBC)	
Means of Egress (Code)	
Service Rooms/Machinery	
Defining Heights	
Roof slopes	
Soft Landscaped areas	
Hard Landscape areas	
Paved areas	

Deliverables

Site Plan

Insert Survey	
Setback dimensions	
Windows spacing	
Window to Window	
Existing buildings	
Entrances	
ADA Accessibility	
Cars Parking	
Bicycle Parking	
Established Grade	
Roof Height	
Roof Slopes	
Street And Curbsides	
Waste and Bin Areas	
Dim centreline to laneway	
Soft Landscaped areas	
Hard Landscape areas	
Paved areas	

Site statistics

Site Area (m2)	
GFA (m2)	
Building Footprint	
Paved Area	
Landscape Area	
Building Coverage	
Density	
# of Units	
Car Parking Spaces	
Bike Parking Spaces	

Context + Site Elevation

Property Limits	
Established Grade	
Highest grade	
Lowest grade	

Floor Levels

Setback Dimensions	
Exterior Dimensions	
Stairs	
Washrooms Equipment	
Room tags	
Room Areas	
Interior Dimensions	
Corridors Dimensions	
Existing Building	
Sections sign	
Elevation Sign	

Roof Plan

Setback Dimensions	
Exterior Dimensions	
Existing buildings	
Entrances	
ADA Accessibility	
Roof Slopes	
Street And Curbsides	
Waste and Bin Areas	

Elevations

Maximum Height	
Levels	
Dimensions between levels	
Soil's grade	
Established Grade	
Property Limits	
Materials Legend	

Sections

Maximum Height	
Levels	
Dimensions between levels	
Soil's grade	
Established Grade	
Property Limits	
Materials Legend	

Sheets

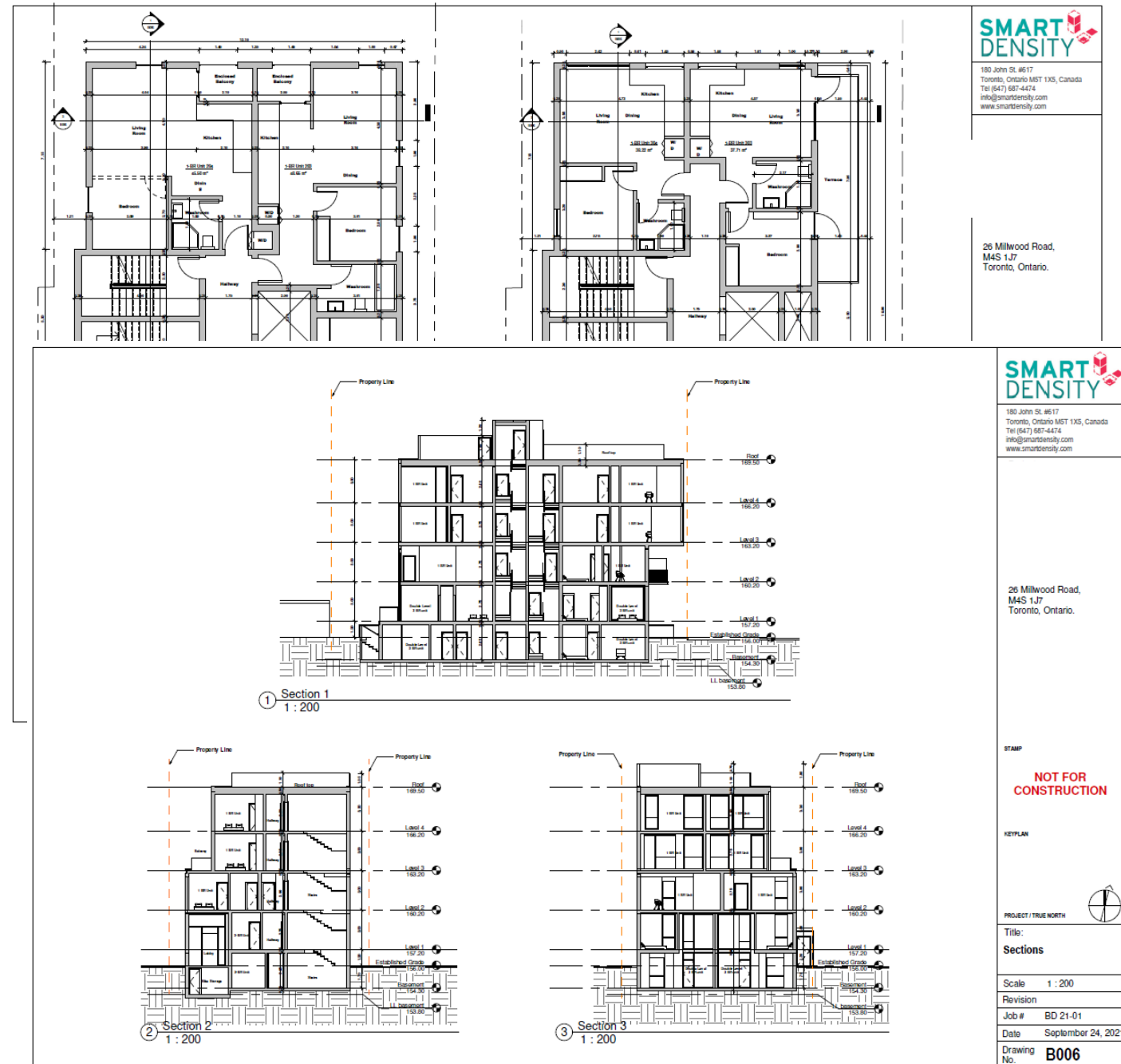
North/True North	
Date	
Revisions	
Titles	
Scale	
Issue For	

THE DEVELOPMENT APPROVALS PROCESS IN TORONTO

Pre-Application Consultation (PAC)

Preliminary Project Review (PPR)
or Zoning Certificate

- PPR Set Sample:
- Level of detail is similar to Rezoning set



THE DEVELOPMENT APPROVALS PROCESS IN TORONTO

Pre-Application Consultation (PAC)

Preliminary Project Review (PPR)
or Zoning Certificate

- PPR Notice (Examiner's Report) Sample

SMART DENSITY INC
C/O MISHA BEREZNYAK
180 JOHN ST UNIT 617
TORONTO ON M5T 1X5

Examiner's Notice

Date: Wednesday, November 3, 2021

Preliminary Project Review No: 21 220735 ZPR 00 ZR FolderRSN: 5004029

Apartment Building - New Building

Examination of your Request for a Preliminary Project Review has revealed that certain requirements of the Zoning Bylaw Municipal Applicable law have not been satisfied. The attached Zoning Municipal Applicable law Notice provides the details of the review.

Should compliance with the City's Zoning By-law no Amendment or Committee of Adjustment application more appropriate, you may visit the City of Toronto staff by calling (416)392-7565.

Subsequent reviews will require the submission of a:

The Notice is based on plans and documents submit

The plans and documents will be held on file for one Notice becomes invalid.

Should there be changes to the Zoning By-Law or ot to comply with those changes.

Please refer to your PPR number when you phone in.

Nadia Ali
Zoning Examiner

City-wide Zoning By-law

This zoning review is for proposal to construct a new 4 storey residential building
Your property is subject to the City-wide Zoning By-law No. 569-2013, as amended. Based on By-law No. 569-2013, your property is zoned R.

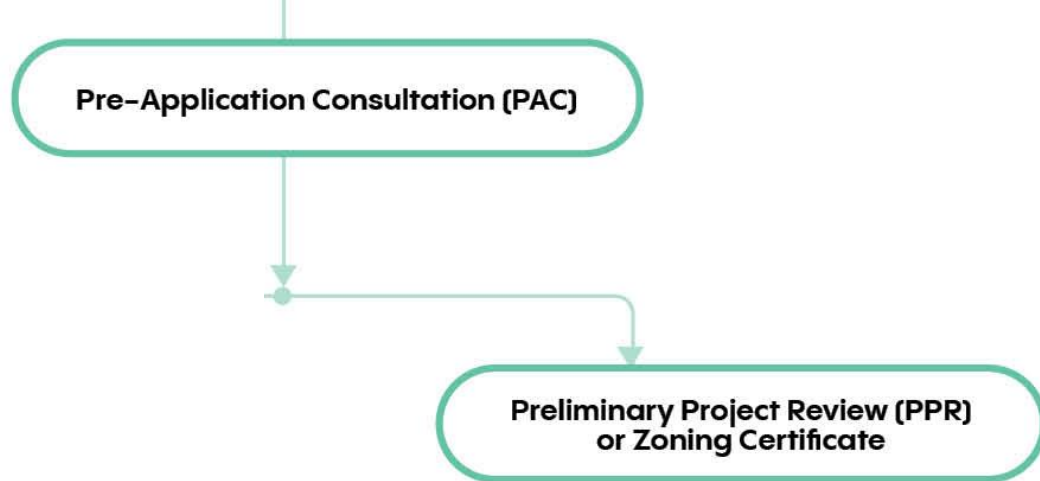
Required information:

- 1- Submit elevation drawings of ancillary structure.
- 2- Show driveway width on site plan.
- 3- Submit a landscaping plan. Use hatching/ color coding to show surfaces such as driveway, sod, interlock etc. Provide a legend to understand hatching.

5. A platform without main walls, such as a deck or balcony, attached to or within 0.3 metres of the rear main wall of a residential building and at a height greater than 1.2 metres above established grade, must comply with the following:
(iii) may not encroach into the required rear yard setback.
The rear balconies encroach into the rear yard setback.
[x931(E)(iii)]
6. An apartment building or a building with more that six dwelling units is not permitted.
[x931- 12(2)(63)]
7. A) The permitted maximum height of a building or structure is 9 metres. The proposed height of the (building/structure) is 16.5 metres.
[10.10.40.10.(1) Maximum Height]
8. B) The permitted maximum building depth for a (duplex, triplex, fourplex, townhouse, apartment building) is 14.0 metres.
The proposed building depth is 15.83 metres.
[10.10.40.30.(1) Maximum Building Depth]
9. A) The permitted maximum floor space index is 0.6 times the area of the lot: 283.2 square metres. The proposed floor space index is 1.973 times the area of the lot: 931.33 square metres.
[10.10.40.40.(1) Floor Space Index]
10. The required minimum front yard setback is 6.25 metres. The proposed front yard setback is 0.29 metres.
[10.10.40.70.(1) Minimum Front Yard Setback]
11. The required minimum rear yard setback is 7.5 metres. The proposed rear yard setback is 5 metres.
[10.10.40.70.(2) Minimum Rear Yard Setback]
12. C)(ii) The required minimum side yard setback for an apartment building is 7.5 metres with a height more than 12.0 metres. The proposed east side yard setback is 1.2 metres and west side yard setback is 0.79 metres.
[10.10.40.70.(3) Minimum Side Yard Setback]
13. A) The required minimum distance between main walls for a (townhouse, apartment building) is 2.0 metres where there are no openings to dwelling units in those main walls. The proposed distance between main walls on level 3 is 1.6 metres.
B) The required minimum distance between main walls for a (townhouse, apartment building) is 5.5 metres where there are openings to dwelling units in one main walls. The proposed distance between main walls is 4.25 metres on level 2 and 2 metres on level 4.
[10.10.40.80.(1) Distance Between Main Walls of the Same Townhouse or Apartment Building]

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THE DEVELOPMENT APPROVALS PROCESS IN TORONTO



5. A platform without main walls, such as a deck or balcony, attached to or within 0.3 metres of the rear main wall of a residential building and at a height greater than 1.2 metres above established grade, must comply with the following: (iii) may not encroach into the required rear yard setback. The rear balconies encroach into the rear yard setback. [x931(E)(iii)]

These balconies are recessed and are generally incorporated within the overall building mass.

6. An apartment building or a building with more than six dwelling units is not permitted. [x931- 12(2)(63)]

The proposed number of units is appropriate considering the specific context and location in the city, and to achieve a missing middle type of development.

7. A) The permitted maximum height of a building or structure is 9 metres. The proposed height of the (building/structure) is 16.5 metres. [10.10.40.10.(1) Maximum Height]

16.5 m is the height of the access to the roof, which has a small area and is located away from the front elevation. The proposed height of the main structure is 13.55 m, and is justified by the context. The height on the east side facing the low-rise building is only 7.2 m.

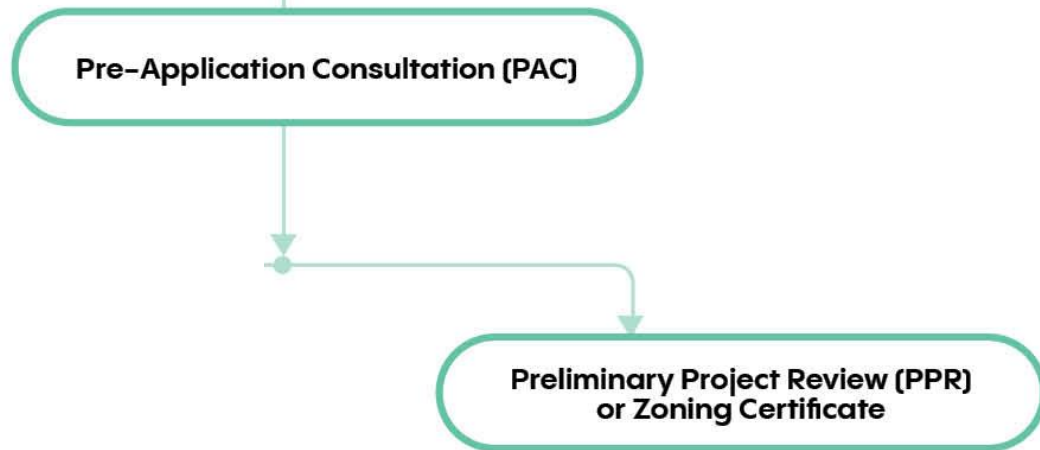
8. B) The permitted maximum building depth for a (duplex, triplex, fourplex, townhouse, apartment building) is 14.0 metres. The proposed building depth is 15.83 metres. [10.10.40.30.(1) Maximum Building Depth]

The building fits in the context - it extends back to the same line as the apartment building to the west and less than the residential building to the east.

- Our response: providing a rationale for each of the variances and follow up with City Planning

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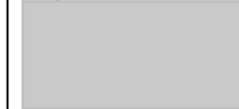
- Committee of Adjustment Presentation Deck
- Bill 23: no third party appeals

Committee of Adjustment Presentation Deck



192 Spadina Ave. #300
Toronto, Ontario M5T 2C2, Canada
Tel (647) 687-4474
info@smartdensity.com
www.smartdensity.com

Project:



STAMP

**NOT FOR
CONSTRUCTION**

KEYPLAN

Title:

Building Envelope

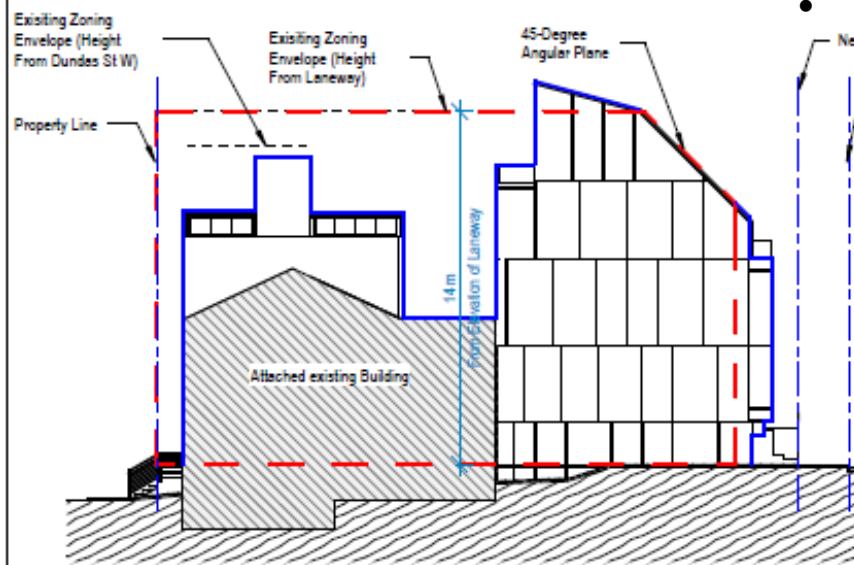
Scale As Indicated

Revision

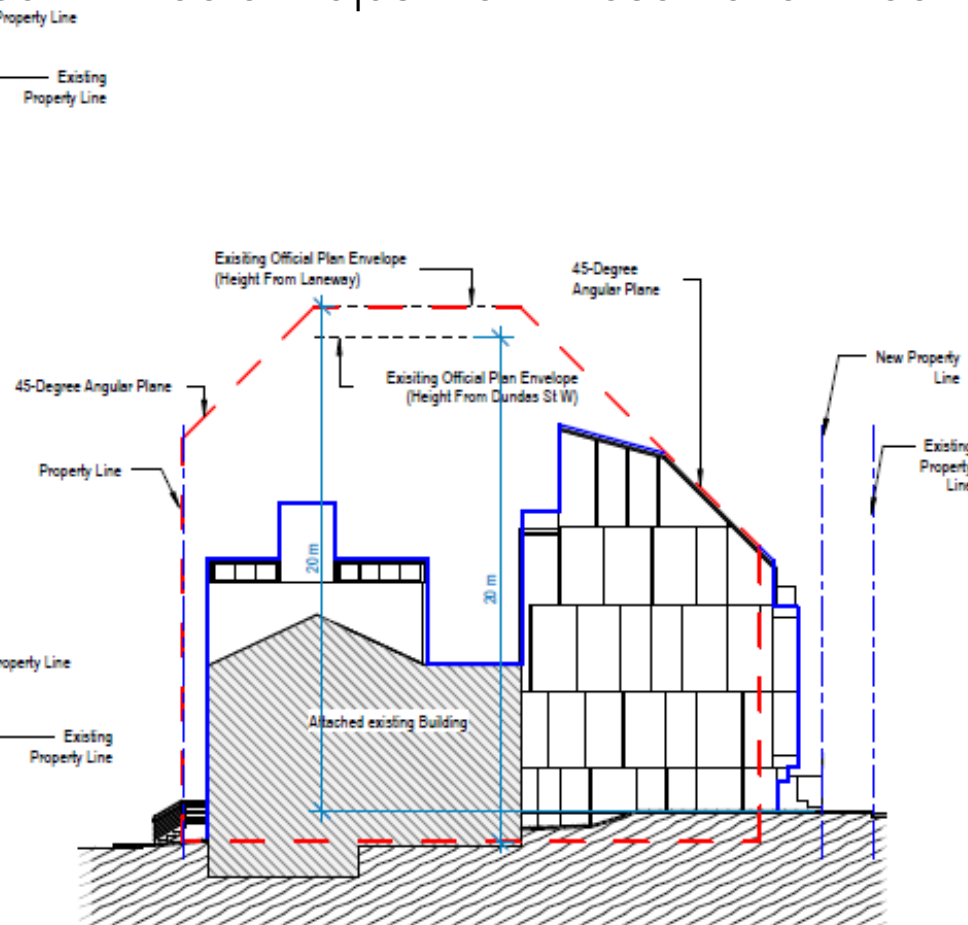
Job # SD 20-01

Date October 8, 2021

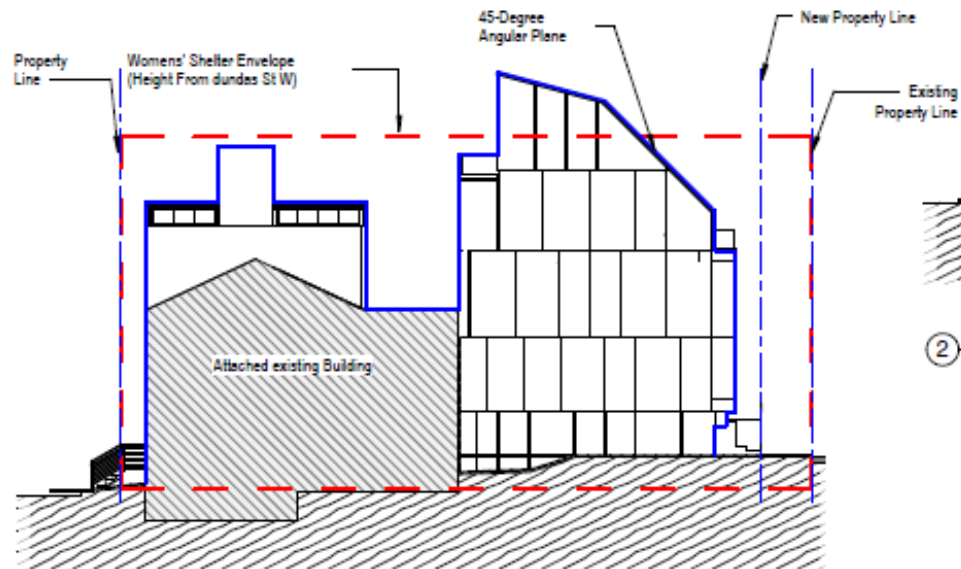
Drawing
No. **A005 - A**



① **Diagram 1 - Zoning Envelope**
1 : 200



② **Diagram 2 - Official Plan Envelope**
1 : 200



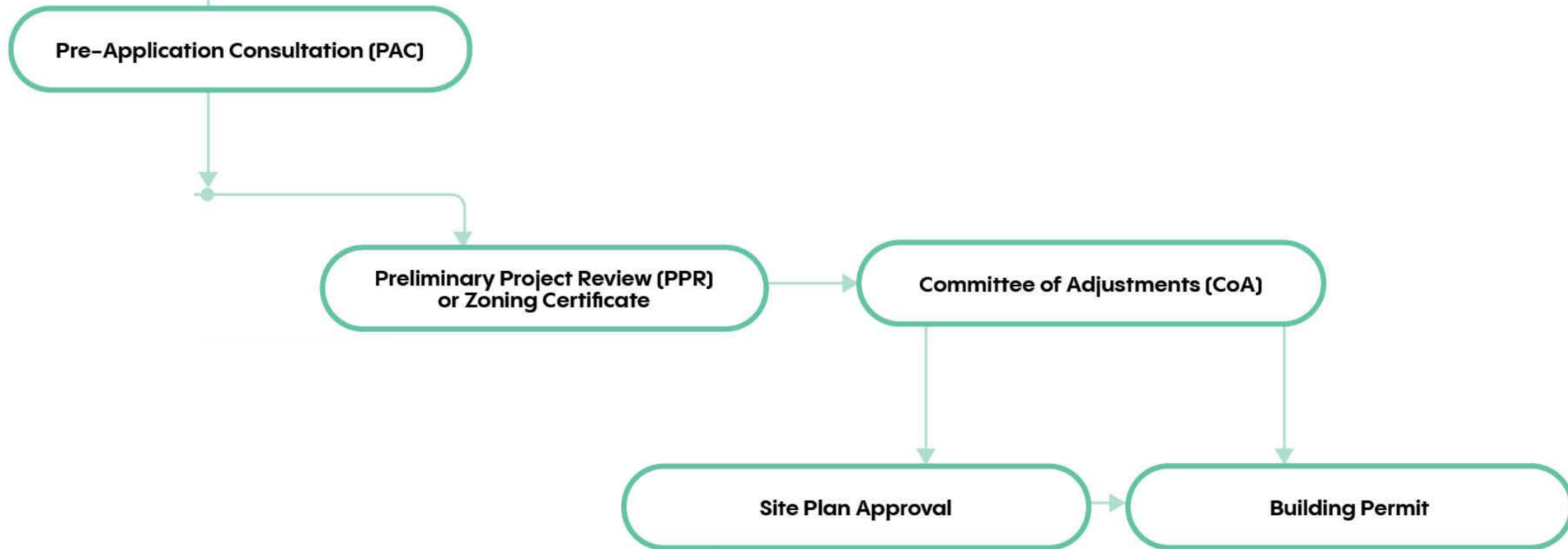
③ **Diagram 3 - Womens' Shelter**
1 : 200

— Proposed Building Envelope

- - - OP/Zoning/Adjacent Building Envelope

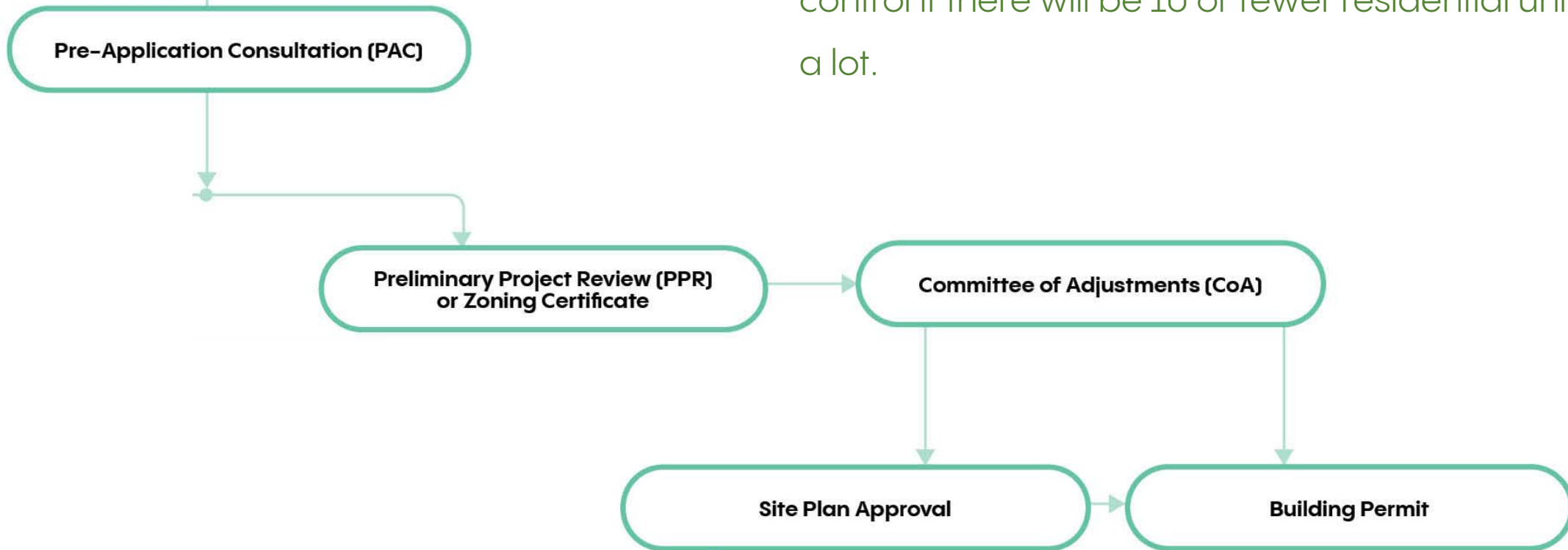
○ **Legend 1**
1 : 100

THE DEVELOPMENT APPROVALS PROCESS IN TORONTO



- Committee of Adjustment Presentation Deck
- Bill 23: no third party appeals

THE DEVELOPMENT APPROVALS PROCESS IN TORONTO



- Committee of Adjustment Presentation Deck
- Bill 23: Developments are now exempt from site plan control if there will be 10 or fewer residential units on a lot.

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Pre-Application Consultation (PAC)

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graph TD; PAC([Pre-Application Consultation (PAC)]) --> J(( )); J --> ZBA([ZBA]); J --> OPA([OPA]);
```

ZBA

OPA

- When is OPA needed?

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Pre-Application Consultation (PAC)

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graph TD; PAC([Pre-Application Consultation (PAC)]) --> ZBA([ZBA]); ZBA --> OPA([OPA]);
```

ZBA

OPA

- Bill 23: Official Plans and Zoning By-laws must now permit up to 3 residential units on a lot as of right. This can mean 2 units in the same building and 1 unit in an accessory residential unit or 3 units all in the same building. On top of this, Official Plans and Zoning By-laws cannot require a minimum accessory residential unit floor area.

- When is OPA needed?

SMART DENSITY

THE DEVELOPMENT APPROVALS PROCESS IN TORONTO

Pre-Application Consultation (PAC)

```
graph TD; PAC([Pre-Application Consultation (PAC)]) --> ZBA([ZBA]); ZBA --> OPA([OPA]);
```

ZBA

OPA

- When is OPA needed?

Bill 23: The maximum parking rate that an Official Plan or Zoning by-law can require for these three units is 1.0 space per unit.

SMART DENSITY

THE DEVELOPMENT APPROVALS PROCESS IN TORONTO

Pre-Application Consultation (PAC)

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graph TD; PAC([Pre-Application Consultation (PAC)]) --> ZBA([ZBA]); ZBA --> OPA([OPA]);
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ZBA

OPA

Bill 23: The creation of second and third units is now exempt from development charges, parkland contributions, or cash-in-lieu.

While it may take some time for Official Plans and Zoning By-laws to reflect the amendments to the Planning Act, development charge, parkland, and site plan exemptions are in effect as of November 28, 2022.

- When is OPA needed?

SMART DENSITY

THE DEVELOPMENT APPROVALS PROCESS IN TORONTO

Pre-Application Consultation (PAC)

ZBA

OPA

- Bill 23: For physical land the rate changed from 1 hectare for each 300 residential units → 1 hectare for each 600 net residential units)
- For cash-in-lieu, the rate changed from 1 hectare for each 500 residential units → 1 hectare for each 1000 net residential units.
- There is now an overall cap for alternative parkland dedication rates on all lands. (This used to only apply to lands designated as a Transit Oriented Community)
 - Maximum of 10% for developments 5 hectares or smaller
 - Maximum of 15% for developments bigger than 5 hectares.

- When is OPA needed?

Information/Studies required with application submission
[0 paper copies unless noted and 1 digital copy (i.e. PDF)]

City Planning

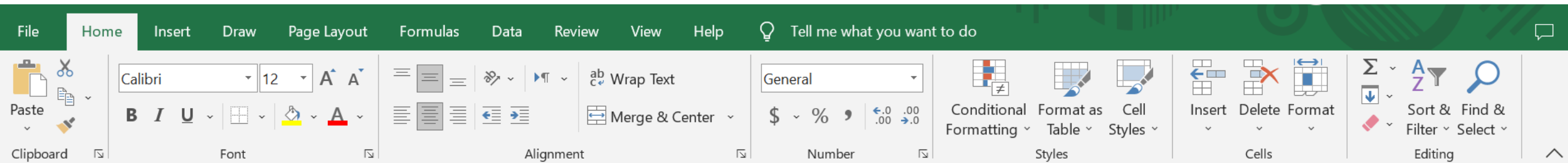
<input type="checkbox"/>	Accessibility Design Standards Checklist (SUB,CDM,SPA)	<input type="checkbox"/>	Archaeological Assessment (OPA,ZBA,SUB,SPA)
<input type="checkbox"/>	Architectural Control Guidelines (ZBA,SUB,SPA)	<input checked="" type="checkbox"/>	Avenue Segment Review Study (OPA,ZBA)
<input checked="" type="checkbox"/>	Block Context Plan (OPA, ZBA [site specific], SUB, SPA)	<input checked="" type="checkbox"/>	Community Services and Facilities Study (OPA,ZBA,SUB)
<input type="checkbox"/>	Compatibility/Mitigation Study (OPA, ZBA, SPA)	<input checked="" type="checkbox"/>	Computer Generated Building Mass Model (OPA,ZBA,SPA)
<input checked="" type="checkbox"/>	Draft Official Plan Amendment (text and schedule)(OPA)	<input checked="" type="checkbox"/>	Draft Zoning By-law Amendment (text and schedule)(ZBA)
<input type="checkbox"/>	Energy Strategy (OPA,ZBA,SUB)	<input type="checkbox"/>	Heritage Impact Assessment (Conservation Strategy) (ZBA,SUB,SPA)
<input type="checkbox"/>	Housing Issues Report (OPA,ZBA,CDM)	<input type="checkbox"/>	Natural Heritage Impact Study (OPA,ZBA,SUB,SPA)
<input checked="" type="checkbox"/>	Noise Impact Study (ZBA,SUB,SPA)	<input checked="" type="checkbox"/>	Planning Rationale (OPA,ZBA,SUB,CDM)
<input checked="" type="checkbox"/>	Pedestrian Level Wind Study (ZBA,SPA)	<input checked="" type="checkbox"/>	Public Consultation Strategy Report (OPA,ZBL,SUB,CDM [Vacant Land])
<input checked="" type="checkbox"/>	Simplified Report Graphics	<input checked="" type="checkbox"/>	Sun/Shadow Study (ZBA,SPA)
<input checked="" type="checkbox"/>	Vibration Study (ZBA,SUB,SPA)	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	Toronto Green Standard (ZBA,SUB,SPA) <input checked="" type="checkbox"/> Tier 1 (Mandatory)** <input type="checkbox"/> Tier 2, 3 (Voluntary)*** ** TGS Version 4 will be applied for all applications received on or after May 1st, 2022. See Energy Efficiency Modelling Guidelines and Report Requirements (SPA) . *** To enroll in Tier 2 or 3 contact Environmental Planning sustainablecity@toronto.ca		

Engineering & Technical Services

<input type="checkbox"/>	Contaminated Site Assessment (OPA,ZBA,SUB,SPA)	<input type="checkbox"/>	Environmental Impact Study (OPA,ZBA,SUB,SPA)
<input checked="" type="checkbox"/>	Geotechnical Study/Hydrological Review (ZBA,SUB,SPA) TOR*	<input checked="" type="checkbox"/>	Loading Study (ZBA,SPA)
<input checked="" type="checkbox"/>	Parking Study (ZBA,CDM,SPA)	<input checked="" type="checkbox"/>	Servicing Report (ZBA,SUB,CDM,SPA)
<input checked="" type="checkbox"/>	Stormwater Management Report (ZBA,SUB,CDM,SPA)	<input checked="" type="checkbox"/>	Transportation Impact Study (OPA,ZBA,SUB,SPA)
<input checked="" type="checkbox"/>	Traffic Operations Assessment (ZBA,SUB,SPA)		

Urban Forestry Services

<input checked="" type="checkbox"/>	Arborist/Tree Preservation Report and/or Declaration (ZBA,SUB,CDM,SPA)		
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K9

A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
Quotes	Company	Contact	Description of Work and Deliverables	Proposed Fee	Fee Additional (not included in column E)	Retainer Fee/Deposit	# of Submissions	# of Meetings	Timeline	Background Information Required															
2 3			Civil	Preliminary Engineering Grading and Servicing Design Functional Servicing and Stormwater Management Report Sanitary Capacity Analysis Public Utilities Plan Follow up to Approval	\$39,500	Not listed	Not listed	1 - budgets for B and C assume that there are no significant site plan changes after the first submission	2	Not listed	Confirmation of the capacity of existing municipal systems Sanitary capacity analysis New sanitary sewer model Hydrological assessment														
4 5 6			Civil	General Engineering Assistance Groundwater Discharge Coordination Functional Servicing Report External Sanitary Sewer Capacity Coordination Stormwater Management Design	\$89,500	Other consultants to be retained by the Owner (fees are estimated): CCTV, smoke/dye testing (\$7,500) Subsurface Utility Engineering (\$8,500) Hydrant Flow Testing (\$1,200) Watermain Modelling (\$8,500) Sanitary Capacity Modelling (\$10,000)	\$15,000	2	Included, but no number listed	Not listed	Hydro-geological investigation Water quality analysis Legal topographic survey Subsurface utility engineering (SUE) investigation Contract Administration and Erosion and Sediment Control monitoring If required, your hydrogeologist will prepare any														
7 8			Traffic	Terms of Reference Confirmation Data Collection Traffic Operations Assessments Multimodal Analysis Transportation Demand Management (TDM) Plan Loading Space Assessment Parking Assessment Access and Site Plan Review	\$23,500	None listed	Yes, but amount not listed	1	0	6-8 weeks	N/A														
9 10			Traffic	Transportation Impact Brief Parking Justification Study Vehicle Turning Diagrams	\$15,000	Site Plan Assistance (As Required, Hourly)	\$3,500	1	0	3 weeks	N/A														
11 12			Landscape	Conceptual Design: Site Analysis Drawing, Function Zone Diagram, Conceptual Design Plan, Concept Images, Presentation graphics in coordination with architect and outside rendering firm Landscape Plan for SPA to include: planting, green roof, terraced amenity spaces, site sections, key site element schematic design, preliminary cost estimate, conceptual lighting plan	\$47,500	DRP and Public Consultation Meetings, In Person Consult Meetings (hourly)	Not listed	1 coordinated schematic landscape design scheme per direction from Client and 1 revised submission as per City comments	2	Not listed	A. Topographic plan of the site and the surrounding area; B. Site topographic plan with contour line, master plan (including the first floor architectural plan); C. Boundary survey; D. Confirmed architectural forms, entrance and exit, fire protection, road system map, parking requirements, range line for underground excavation; E. Floor plans of the building, elevation section and configuration position of the relevant equipment; F. Relevant regulations and plans for the flood														

Sub-Consultant Matrix

Civil

Transportation

Landscape

Wind

Noise

Heritage

Environmental

File Home Insert Draw Page Layout Formulas Data Review View Help

Paste

Clipboard

Font

Alignment

A52

✕ ✓ fx



















Servicing Report

	A	B	C	D	E	F	G	H
1	List of Required Applications, Plans, Information/Studies	Architecture & Planning	Civil	Transportation	Landscape	Wind & Vibration		
2		Smart Density	Husson	Crozier	Hill Design	WSP		
3	Submission Requirements							
4	Completed Development Approval Application Form							
5	Project Data Sheet							
6	Full Fees	Client						
7	Planning Applications Required							
8	Offical Plan Amendment (OPA)	In Progress						
9	Zoning By-law Amendment (ZBA)	In Progress						
10	Rental Housing Demolition & Conversion Application (RH)	Waiting on Chris						
11	Housing Declaration of Use and Screening Form	Waiting on Chris						
12	Offical Plan Amendment (OPA)							
13	Boundary Plan of Survey							
14	Context Plan							
15	Site Plan	In Progress						
16	Concept Site and Landscape Plan				In Progress			
17	Topographical Survey	Complete						
18	Zoning By-law Amendment (ZBA)							
19	Boundary Plan of Survey							
20	Context Plan							
21	Floor Plan							
22	Site and Building Elevations							
23	Site Plan							
24	Topographical Survey	Complete						
25	Underground Garage Plan							
26	Concept Site and Landscape Plan				In Progress			
27	Public Utilities Plan		In Progress					
28	Soil Volume Plan				In Progress			
29	Tree Preservation Plan				In Progress			
30	City Planning							
31	Block Context Plan							
32	Draft Offical Plan Amendment (text and schedule)							
33	Housing Issues Report							
34	Noise Impact Study					In Progress		
35	Pedestrian Level Wind Study					Received		






































Sub-Consultant Matrix

On going project tracking

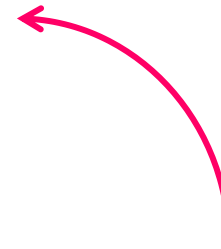
Complete Application Folder:

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 00 - Forms	2022-11-28 2:23 PM	File folder
 01 - Survey	2022-11-04 10:59 AM	File folder
 02 - Landscape Architect	2022-11-15 3:13 PM	File folder
 03 - Noise Impact Study	2022-11-04 10:59 AM	File folder
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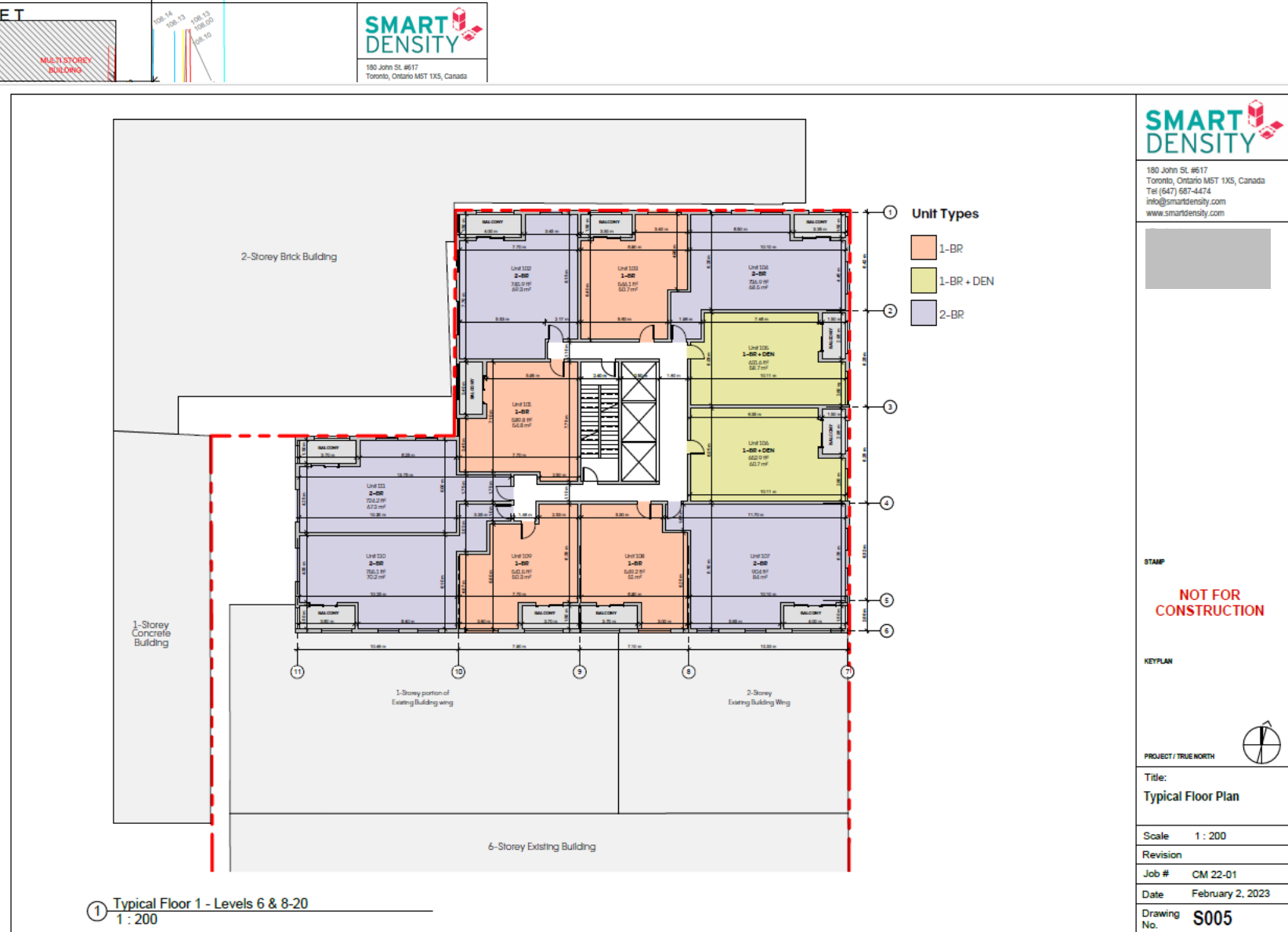
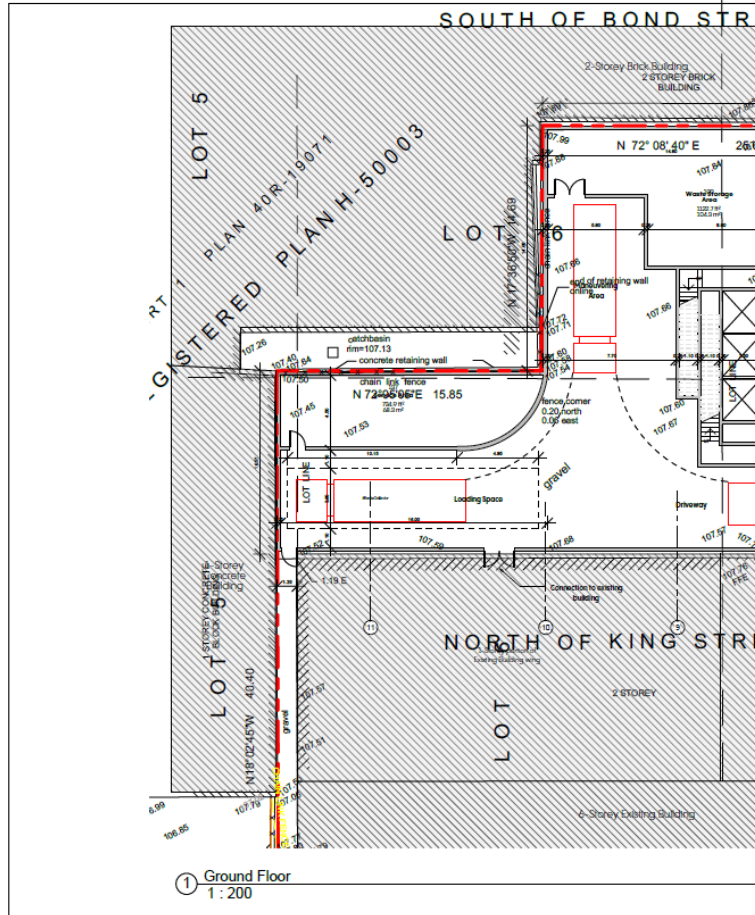
What Consultant covers what study?

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-  Architect
-  Client
-  Surveyor
-  Landscape Architect
-  Wind/Noise Engineering
-  Civil Engineering
-  Urban Planner
-  Transportation



A 'complete application' folder and sub-folders



Client confirms >> sent out to sub consultants.

Architectural Set



Civil



Landscape

Transportation

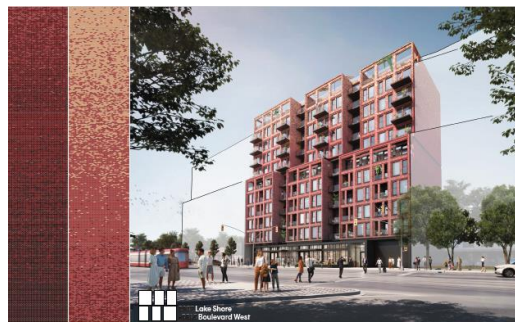
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THE DEVELOPMENT APPROVALS PROCESS IN TORONTO

Pre-Application Consultation (PAC)

ZBA

OPA



3807-3815 LAKE SHORE
BOULEVARD WEST

AVENUE SEGMENT STUDY
AND BLOCK CONTEXT PLAN

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DENSITY

November 17, 2022
Smart Density
180 John St. Suite #617
Toronto, ON M5T 1X5



3807-3815 LAKE SHORE
BOULEVARD WEST

PLANNING RATIONALE REPORT

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DENSITY

November 17, 2022
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180 John St. Suite #617
Toronto, ON M5T 1X5



3807-3815 LAKE SHORE
BOULEVARD WEST

HOUSING ISSUES REPORT
CONFIDENTIAL APPENDIX A

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3807-3815 LAKE SHORE
BOULEVARD WEST

COMMUNITY SERVICES AND
FACILITIES REPORT

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DENSITY

November 17, 2022
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Toronto, ON M5T 1X5



3807-3815 LAKE SHORE
BOULEVARD WEST

PUBLIC CONSULTATION STRATEGY
REPORT

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November 17, 2022
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Toronto, ON M5T 1X5








































3807-3815 LAKE SHORE
BOULEVARD WEST

URBAN DESIGN BRIEF

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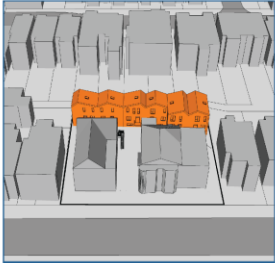
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A Complete Application

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-  Civil Engineering
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Notice



↑ APPLICANT'S PROPOSAL SEPTEMBER 28, 2019
The above image represents the applicant's proposal as submitted and may change. The City of Toronto's 3D Mapping Model is available for free at <https://open.toronto.ca/dataset/3d-mapping>

PUBLIC MEETING

A community consultation meeting will be held on Oct 7, 2021 - 6:00pm to 8:00pm. See www.toronto.ca/cpconsultations for more details

File # 19 252606 STE 11 OZ



2 Storeys
8.9 Metres



6 Townhouses



Zoning By-Law
Amendment



Designated
Heritage Property

A change is proposed for this site.

The application has been revised.

The Zoning By-laws are proposed to be changed to allow for the construction of 6 rowhouses at the rear of the site. The existing buildings will be retained.

Applicant: 661 Huron Inc.
Address: 661 & 663-665 Huron Street

For more information about this application or to tell us what you think:



COMMUNITY PLANNING
Jason Tsang
416-392-4237
jason.tsang@toronto.ca



APPLICATION
INFORMATION
CENTRE
aic.to/approved_url



toronto at your service

→ Preliminary Staff Report

↓
Statutory Public Meeting

↓
Council Decision

} Assume
X3

25%



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**THE
DEVELOPMENT APPROVALS
PROCESS
IN TORONTO**

Pre-Application Consultation (PAC)

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graph TD; PAC([Pre-Application Consultation (PAC)]) --> J(( )); J --> ZBA([ZBA]); J --> OPA([OPA]);
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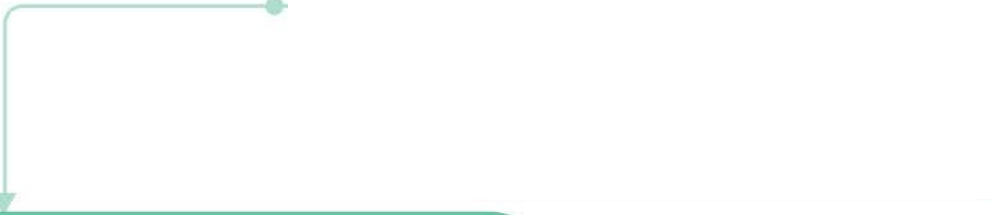
ZBA

OPA

Questions?

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DEVELOPMENT APPROVALS
PROCESS
IN TORONTO**



NOAC Notice of Approval Conditions



33%



Information/Studies required with application submission
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City Planning

<input type="checkbox"/>	Accessibility Design Standards Checklist (SUB,CDM,SPA)	<input type="checkbox"/>	Archaeological Assessment (OPA,ZBA,SUB,SPA)
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Engineering & Technical Services

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Urban Forestry Services

<input checked="" type="checkbox"/>	Arborist/Tree Preservation Report and/or Declaration (ZBA,SUB,CDM,SPA)
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PROCESS
IN TORONTO**



50%

